



Stage 3

ARCHITECTURAL GUIDELINES

November 2023

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1.0 Introduction

The objective of these architectural guidelines is to ensure the highest standard of visual appeal and image, ensuring compatibility and integration within the community. Outlining the opportunities and constraints of building, these guidelines will assist builders, designers, and home buyers in achieving a positive building experience.

1.1 Land Use and Zoning Regulations

The community of Alces is zoned Residential Mixed Dwelling (RMD) which provides for a range of dwelling types and densities including Single Detached, Semi-detached and Row Housing. Due to the variety of land use and zoning requirements, all builders are to ensure familiarity with the appropriate requirements and stipulations.

1.2 General Rules and Limitations

These requirements may be altered, amended, or varied by the Vendor, Carrington, at its sole and absolute discretion and without prior notice. Carrington and their designated consultants retain the full discretion to approve or disapprove any or all elements of a proposed development or structure. It is strongly recommended that all purchasers or builders obtain pre-approval for any proposed development.

The Vendor, the Architectural Consultant, their servants, agents, contractors, appointees, shall not be held responsible or liable for the accuracy, enforcement or compliance with these Landscape and Design Requirements to any Owner, Purchaser and/or Builder within the subdivision.

Formal standards for development will be those as established in the City of Edmonton Land Use Bylaw, specific to Alces. Conformity with these requirements does not supersede the required approval process of the City of Edmonton. It is not the purpose of this process to check for compliance with applicable governing statutes and requirements. Incomplete submissions may be returned without review. Any changes to approved plans must be approved in writing prior to implementation.

2.0 Architectural Theme

The theme of this community is inspired by nature and built for fostering connections. Alces will provide a distinct connection to its pristine natural setting. Alces will offer a broad range of housing types, with dynamic streetscapes featuring a mix of contemporary styles – West Coast, Modern Prairie and Modern Farmhouse design styles - to highlight the progressive nature of the community and showcase exceptional architectural design and modern materials and techniques.



3.0 House Size, Massing

3.1 Streetscape

Houses are to have a consistency of mass and volume within the streetscape. As such, house widths and sizes must relate proportionately to the lot width and neighboring houses. Massing, style and setback may be adjusted on a lot to lot basis, to enhance the streetscape. Entranceways will be covered at the first level.

3.2 Mix of Housing Types

Housing types will be mixed within the same streetscape (single detached, semi-detached and row housing), using architectural elements to adjust massing and proportions for a cohesive presentation.

3.3 House Placement and Width

Builders are to choose home designs that are suited to all the attributes of the lot. Builders are to review all available information and ensure the proposed house considers the lot size, lot location, site grading and view potential. Additional considerations in house placement are:

- Houses are expected to fill the lot width appropriately.
- Avoid unnecessary use of retaining walls.
- To provide interesting and appropriate elevations in exposed locations.
- The house width must be within 2 ft. of the respective building pocket. A maximum of a 2' offset of the garage including the upper floor to fill the pocket will be permitted on interior lots only.

3.4 Front Setbacks

The developer's architectural consultant will monitor front setbacks at the preliminary review stage and adjust them at their discretion to achieve the site planning principles of Alces. Additional considerations may include:

- To create more interesting streetscapes, variety will be provided and required in the front setbacks along the street.
- Pie-lots will be sited with additional considerations – building relationships are integral – to ensure that adequate space is maintained for the front entries and landscaping components.
- Corner lots, as well as homes with more imposing upper floor massing or rooflines will require increased setbacks to reduce their dominance on the street.
- Rear and side yard setbacks will adhere to minimum bylaw standards set by the municipality of Edmonton.

3.5 Building Form and Massing

Architectural massing refers to the concept of arranging the volumes of a house in relation to each other and the streetscape. In general, all parts of the building should be designed with a sense of proportion to one another – and achieving this is foundation for the overall design of the house. Some of the specific architectural controls that will be considered are:

- Living area over the garages will be encouraged but are not permitted to cover the entire depth of the garage. Designers will be asked to reduce the visual impact of the bonus room through use of rooflines, battens, and increased material returns.
- Density will only increase by one level on adjacent lots. i.e. single detached housing must be separated from row housing with semi-detached housing.

3.6 Third Storey Development

When adding a 3rd storey development, care must be taken to ensure this space does not overwhelm the structure. This may be accomplished by integrating 3rd floor space into the roof mass with the inclusion of dormers, lower fascia, and acceptable variation in wall planes. In all cases, any 3rd storey development must conform to municipal ordinances.

4.0 Site Planning and Grading

The siting of buildings is critical to the design success not only of individual homes, but to the neighborhood. Side yard setbacks and staggering of houses on adjacent lots can provide for privacy, separation, improved landscaping features, and a welcoming streetscape. Builders are to choose home designs that are suited to all the attributes of the lot – as relative massing, siting and style will be of utmost importance in assuring each home compliments its neighbor and the subdivision.

4.1 Grading

Builders are to familiarize themselves with the engineering grade plan and ensure that drainage patterns are to be established on all lots that channel surface water away from the house on all sides and into adjacent drainage swales, storm water system and be aware of any lots that require roof leader connectors to storm mains.

- Lot grading must be in strict conformance with the approved grading plans.
- Variations should be absorbed within the building mass to minimize steep slopes and contrast between lots.
- All plot plans and stakeouts must be done by the designated surveyor.
- Downspouts are to be positioned to direct water away from the house.
- Attempts to artificially elevate the finished grade of a lot to raise the main floor level of a dwelling or any extensive re-grading to create a flat site on the existing topography, will not be allowed.

4.2 Conformance to Grading Plan

Site planning and grading must accommodate the natural slope of the land with variations in grade absorbed within the building mass. The Purchaser shall be responsible for the design, construction and costs of any retaining structures and must ensure design grades and lot drainage is not compromised.

4.3 Parging

Parging details on exposed elevations will vary depending on the applied material and its intent. The rules to follow are:

- All masonry is to be properly grounded, parged to within 2" of exposed grade on all applications
- Exposed concrete and parging will be restricted to a maximum of 12" at all elevations.
- All other elevations (non-exposed) will be restricted to 2'
- Garage columns – if finished in an alternate material - are to adhere to the same standards as masonry application – either with the garage column material itself or with an alternative horizontal trim cap detail finished at grade (within 2")

4.4 Risers and Entry Steps

A maximum of 4 risers with additional riser in the walk will be allowable in Alces (at the discretion of the architectural coordinator).

4.5 Additional Risers, Side Entry and Massing

Increased risers – on account of a particular grading circumstance or to accommodate side entry - will require adjustments to the massing of the home to restore adequate proportions and scale to the architectural elements and to reduce the space above the garage roof. Adequate measures may vary case-by-case, but may include:

- Revisions to garage door height (8')
- Increased window depth
- Increased application of material in specific locations to reduce overall mass of untreated space.
- Garage roof can be raised, garage slope can be increased – but space between garage door and its roofline cannot exceed 24". Proportions are to be maintained.

4.6 Retaining Walls

Builders are to choose houses that suit the lot grading and avoid unnecessary use of retaining walls. Any retaining walls should be designed with the following in mind:

- Retaining walls are the responsibility of the property owner and must not compromise the grading design and lot drainage.
- Failure to adhere to approved grades may result in the need for retaining walls.
- Builders are to self-resolve any grading disputes with adjacent properties.
- Any retaining wall exceeding 1.00 metre in height **MUST** be approved by a professional engineer and may require a development permit.
- Acceptable materials for retaining walls are:
 - Landscaping blocks (ie: Alan block)
 - Poured concrete with aggregate surface or strip form concrete
 - Natural elements such as wood and wood products.

5.0 Repetition

5.1 Single, Front Drive and Lane Product

Similar or approximately identical elevations must not be repeated within two lots (XOAX) or directly across the street. To be sited adjacent, homes must be markedly different in all elements.

On lots designated high or moderate visibility, repetition must be addressed at both the front and rear elevations.

Predominance of style will be no more than fifty percent of the streetscape. Example: A 12 lot eyebrow or cul de sac could include a maximum of 6 homes in a single style and in no case will a style be repeated more than two lots in a row.

5.2 Duplex and Townhouse Product

Similar or approximately identical elevations must not be repeated on adjacent lots (XOX) or directly across the street. In addition, duplex and townhouse buildings will be designed to avoid mirror image of units. Variation in wall planes, rooflines, window groupings and finishes are some of the architectural measures that can achieve distinction between units.

On lots designated high or moderate visibility, repetition and mirror image must be addressed at both the front and rear elevations.

Streetscapes will be diverse without a predominance of one style. Predominance of style will be no more than fifty percent of the streetscape. Example: A 12 lot eyebrow or cul de sac could include a maximum of 6 homes in a single style and in no case will a style be repeated more than two lots in a row.

6.0 **Special Design Considerations**

6.1 **Corner Lots**

Corner lots that side onto a street or open space will require additional treatment. The flanking side elevations on corner lots should be well articulated with various architectural elements appropriate to the overall design of the house. Such elements may include side sloping roof details, box outs, chimneys and fully detailed windows, shadow bands, belly boards, porch or verandas that wrap around from the front of the house and continue to the side and rear of the home. All cantilevers, box outs, etc., on visible elevations must include their own roofing and overhang.



Corner Before 'Modern Farmhouse'



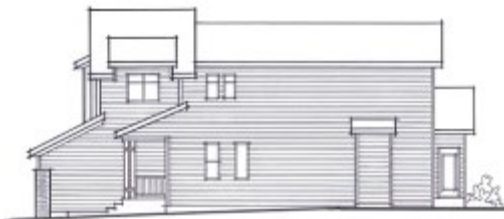
Corner After 'Modern Farmhouse'



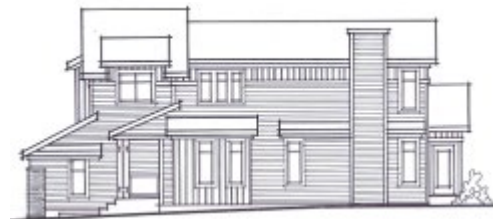
Corner Before 'Modern Prairie'



Corner After 'Modern Prairie'



Corner Before 'Modern'



Corner After 'Modern'

7.0 Driveways, Garages, Walkways

7.1 Driveways

Driveways must meet all City of Edmonton requirements particularly with regards to width. Driveways and walkways may be constructed of the following materials:

- concrete, broom finish
- stamped and coloured concrete
- exposed aggregate concrete
- concrete pavers, coloured

In all cases where coloured concrete or pavers are used, the colours must be expressly approved at time of application.

The walkway to a house from the public sidewalk, curb or driveway must be at minimum, poured concrete in broom finish, 2'6" wide. Individual patio blocks will not be permitted.

7.2 Driveway Configuration

Minimum width of driveway must span the width of the garage, but not exceed the garage width, where it may then flare to include a walkway to the front and/or rear yard.

On pie-lots, driveways may be required to narrow to less than the width of the garage to avoid excessive concrete in the front yard and provide for landscaping development.

Driveways with decorative borders of exposed aggregate, patterned concrete or pavers may be provided as an alternative to narrowing the driveway.

7.3 Garages

Garages must be designed to appear subordinate to the home and shall be integrated into the overall exterior design of the home as much as possible to reduce the domination on the streetscape.

7.3a) Front Drive Garage Product

Front drive product will include a one or two car garage as determined by the housing type and located in accordance with the garage location plan. Considerations when designing this product will be:

- 2nd storey massing over garages must be setback a minimum of 48" from the front of the garage to ensure the massing will not overpower the streetscape. Discretion may be used in cases of exceptional and intentional design – with additional design elements applied to lessen the impact of the massing.
- Garage column minimums will be dictated by the width of the lot. In all cases, 18" will be the minimum width required unless the lot size does not permit.
- Semi-detached product and triple car front drive garages will require an offset plane of 24".

7.3b) Oversized Garages

Oversized (24'+ wide) garages will require articulation in the way of a jog with a separate roofline and front facing window.

7.3c) Rear Lane Product

Lane product will include a concrete parking pad within the rear yard, as determined by product type, and include an electrical power connection

The parking pad will be provided concurrent with house construction. The approach to the parking pad from the lane must be paved with asphalt or concrete

Overhead doors for rear lane product may be standard design, raised or flat panel in standard white finish or may be painted to blend with exterior color scheme.

7.3d) Detached Rear Garages

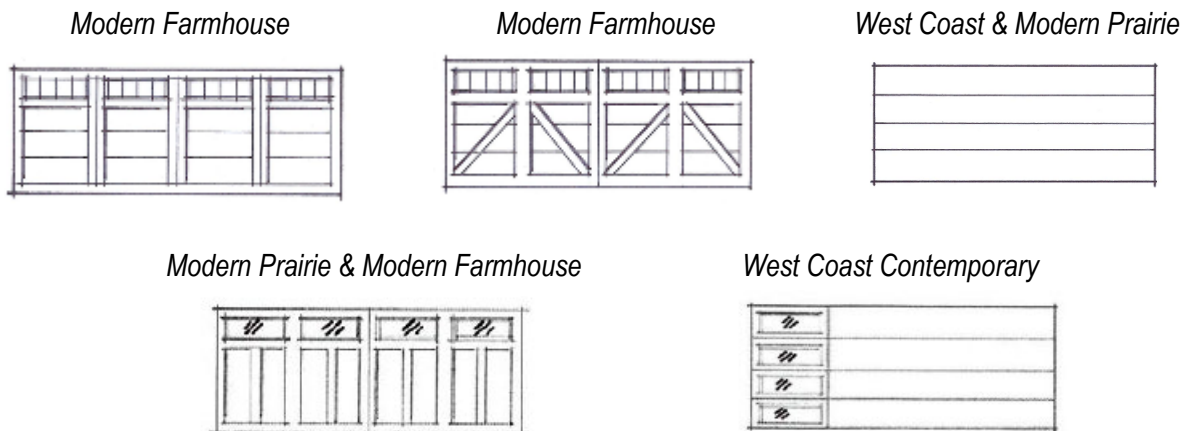
All detached rear garages are to have an exterior design that matches and/or complements the exterior design of the home. This will include:

- Roof style that is consistent with the main roof of the home
- Exterior primary materials and colours match to those on the principal dwelling (on interior lots)
- Rear detached garages are to have poured broom finish concrete driveways and/or aprons.
- Gable end treatments, secondary materials, and detailing to match the home (only on exposed lots)

PLEASE NOTE: Corner Lane lots will REQUIRE that the garages be constructed at the time of construction of the home. These homes will require additional detailing on the elevation that faces the street. Detailing will be comparable to the exposed side elevation of the house.

7.4 Overhead Doors

Garage overhead doors will be painted to blend with the exterior and enhance the presentation. Corners of overhead doors must be straight or curved. Angled corners will not be permitted. Doors are not to exceed 8' in height and 20' in width. A flat face, standard garage door may be utilized and upgraded doors are encouraged, consistent with the style of the home, as illustrated below:



8.0 Architectural Styles

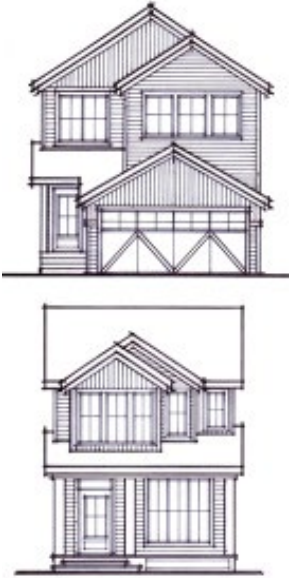
The architectural styles in Alces – Modern Prairie, West Coast Contemporary and Modern Farmhouse- will provide a design framework for traditional forms and massing that take advantage of high-quality materials, contemporary techniques, and unique and creative architectural design elements. To ensure the progressive character and richness of the streetscapes in Alces, modern features and detailing are highly encouraged to be incorporated into the exterior design of all chosen architectural styles – including the classic styles. Some of these features will be:

- High-performance, sustainable materials
- Asymmetrical detailing, material application, glazing patterns
- Darker window frames (encouraged)
- Variation in roof lines/styles on a single elevation
- Timber details and wood finishes on architectural components – columns, soffits, garage doors, accent materials.
- Details with industrial finishes – metal railings, trellis details, planters, wire grid.
- Style-suited lighting on garages and entries
- Recessed soffit lighting

9.0 Style Profiles

See Appendix D – Style Summary for additional information

Modern Farmhouse:



- Gabled roof lines with cottage roofs restricted to garage or entry only. Dutch gables not permitted
- Minimum roof pitch 7/12 with 12" overhangs
- Massing may present a flat façade or include variation in wall plane at the second floor
- Entry is covered at the first level with a shed or cottage roof. An awning style shed may be a feature
- Columns/posts are 6" or 8" metal or panel clad, without collar trims or separate bases
- Lap profile siding with vertical siding (flat panel and shakes are not suited)
- The absence of ornamentation is evident, horizontal and vertical sidings dominate the facade and emphasize the simple lines and even planes. Asymmetric elements may add interest. Openings are trimmed with 3" or 4" surrounds. Gable ends will include 4" shadow band
- Simple window groupings and placements punctuate the style and include a single 5/8" horizontal and vertical grill
- Black Window grills and framed are encouraged
- Stone or brick may be applied in panel effect. Stone is suited in 'Stacked' profile only
- Colors suited to the Modern Farmhouse are light tones in natural hues with tonal fascia/trim and black or white windows & grills or historical colors with a light contrast at the fascia and trim and white windows & grills only. Stone should be variegated and either tonal or a darker contrast and brick must be solid (non-variegated) and may be tonal, a dark contrast, or red-toned

Modern Prairie:



- Understated massing with horizontal emphasis in form
- Profile is low and grounded – with recessed upper floors and variations in wall plane
- Cottage rooflines (Min. 5/12) with wide eave overhangs (Min. 24" when permitted)
- Flat-roof accents are encouraged in contemporary approaches
- Detailing is simple but weighted (minimum 5") with a horizontal emphasis. Lap profile siding with flat panels, board and batten, and metal/wood grain siding accents
- Recessed and covered entries – defined by large, structural columns
- Simple trims, horizontal battens or brickmoulds
- Large heavy columns – accented with stone, brick, or other suitable material
- No internal grilles, external grilles (SDLs) are required
- Black window frames are encouraged (on all exposed elevations)
- Expansive glazing with unusual exterior grill patterns and configurations is encouraged
- Colors suited are mid to dark earth tones with monochromatic or darker contrasting trims and stone

West Coast Contemporary:



- Well-articulated façade with variation in roof lines and wall plane
- Mix of flat and single-sloped roof lines are acceptable as accents or as the main roof lines. Shed roof and shallow barreled roofs can also be included in the roof design
- Main roof slopes will be minimum 5/12.
- Short to medium overhangs (12"-18") Eave overhangs can be extended to the front
- Large porches - flat roof accents/entries
- Solid vertical massing and projections
- Lap profile siding is utilized with alternate finishes dominating the front elevation. Finishes include smooth or textured panels, vertical siding, Longboard siding, corrugated aluminum, and/or wood tone products as accent materials
- Vertical projections – fully clad in wood grain finish, smooth brick, or smooth finish panels
- Clean trim detailing or no trims, black window frames and grills encouraged
- Large expansive glazing. Asymmetrical configurations are encouraged. Contemporary designs incorporate continuous windows on corners and clerestory windows
- Simple, straight columns - finished in solid material (timber, fiber cement, masonry)
- Exposed wood beams and wood tones accents
- Thickened fascia – 8" minimum on the primary rooflines. Larger fascia's will be encouraged
- Stone or brick may be applied in panel effect or as an accent
- Colors are warm dark earth tones with bold rich contrasts in smooth or reflective finishes

10.0 Roofing

Roof designs, pitches, and overhangs should reflect the massing of the chosen architecture style whenever possible. On contemporary homes, flat and shed roof elements will be highly encouraged. Other considerations when designing roof structures are:

- Exaggerated overhangs (to the front) and/or thickened fascia will be encouraged when suited to the style and design submitted.
- Flat roofed accent areas will be encouraged.

10.1 Materials

Approved roofing materials include a standard 3 tab shingle in variegated earth tone shades. Architectural shingles may be utilized in the same colors. Green, red, blue, etc. are not considered earth tones.

10.2 Style and Slope

Roof form and slope are specific to architectural style – see style profiles.

10.3 Overhangs/Eaves

Eave overhangs are style specific as set out in style profiles, or 12" for zero lot line product.

Fascia, minimum 6" (unless style requires larger)

Cantilevers and box outs on visible elevations must include a separate roofline and minimum overhang.

10.4 Projections/Chimneys

Chimneys & box-outs provide interest on the exterior of a home. To ensure that they are treated as integral elements chimneys and box-outs must:

- Be finished to match the exterior wall material or suitable complementary finish.
- Extend down to grade in all exposed locations.
- All projections are recommended to be provide a distinct break in color/material and to be finished in upgraded materials.

11.0 Exterior Cladding

Siding in Traditional or Bevel profile only will be utilized. Stucco as the ambient finish is not permitted.

Appropriate Siding profile:



All homes will include an additional finish at the front and high visibility elevations.

Appropriate to design, this finish will be applied to enhance and reinforce the styling. Materials will include but are not limited to:

- Smooth or textured flat panel – Composite, metal, alternative materials as requested
- Vertical Siding
- Board and Batten, Vinyl, or composite
- Metal wood-tone products or longboard siding
- Corrugated Aluminum
- Style-suited masonry and brick
- Other materials, as requested

These additional finishes may be a tone of the ambient siding or highlighted by a contrasting color, appropriate to style.

11.1 Detail Returns

All trim, accent siding and masonry details must be returned 24" at side elevations

11.2 Stone and Brick

Brick or stone is not a requirement. If utilized, profile and application will be design appropriate – see style profiles.

The following are examples of style appropriate profiles in Eldorado:

- Modern Farmhouse – Stacked, Brick
- West Coast Contemporary – Stacked, Ledgercut, Brick
- Modern Prairie – Stacked, Mountain Ledge, Cliffstone, Brick

For all lots in this community, when using masonry, it is required that:

- Must sit proud of the transition material to achieve the required definition.
- Be applied to portions reflecting structural integrity. Floating masonry sections will not be permitted.
- Taken to grade (within 2") in all cases.

12.0 Defining Details and Entrance Treatment

The front entry of a home is an integral element of the overall design and is expected to be a focal point of the front elevation and/or exposed side elevation.

- Front entries are to be visible from the street.
- Entries are to be fully defined – achieve either by recession into the house or with suitable roofline distinction. Flat, angle roof lines, beams and trellises are acceptable and recommended accents to create interest at the entry.
- Angled entries will be permitted provided they are enhanced with strong features identifying the entry.
- The entry width and approach will be no less than 4' on single family product.

12.1 Porches, Front Steps, and Risers

Front porches will be encouraged when suited to the style of the home and present an integral feature of the overall exterior. To maintain the design standards of the community, front porches are recommended to be:

- Finished in smooth concrete with simple smooth or masonry columns and metal, glass, or no railings.
- A minimum of 5 feet deep to provide a reasonable gathering space.
- Bases of all porches must be closed in and finished in an appropriate solid material.

- Wood entry steps will only be permitted when a porch is included as an integral part of the design. Wood steps, if accepted, must be finished – with all vertical, exposed surfaces painted to match the color of the home. Railings will not be permitted to be constructed with wood.

12.2 Front Doors

The entry door will be the final detail in creating distinction and exemplifying the style persona. Builders are encouraged to get inspiration from the architectural style of your home. Entry door color may make a personal statement but must be painted.

Additional considerations:

- Glazing, sidelights, and/or transom windows are encouraged.
- Real wood or fiberglass doors stained (a wood colour) are encouraged.
- Bolder, accent colors are encouraged.
- White front doors are not acceptable.

12.3 Columns

Entrances can be justly enhanced with feature columns that add to the overall expression. All column design is expected to properly suit and express the chosen architectural style. Other considerations when designing columns for the entry are:

- All columns must be well suited to the style and appear to have structural integrity. Smaller columns will be considered when proportionate to the entry of the home.
- Columns may not be required as long as the entry is well-defined and thoughtfully designed.
- Metal and Wood tone products are acceptable as a column finish.
- Timber columns are acceptable (and encouraged) but must be stained or finished appropriately and be suitable for the chosen style.

12.4 Windows

Window layouts and sizes are very important to fully achieve the characteristics of a particular architectural style. Larger expanses of glass will establish the strength of the style and more unusual configurations will provide interest and excitement. All exteriors are to address windows in a significant manner with the following considerations:

- Window styles, sizes and groupings should be proportionate to the wall space available and specific designs should adhere to the chosen Architectural style.
- Acceptable window frame materials are:
 - Prefinished metal clad
 - Vinyl clad windows
- All windows grilles must be external simulated divided lights (SDL'S).
- Darker window frames are encouraged. Non-white window frames may be used to increase the level of interest and detailing at the discretion of the architectural coordinator.

12.5 Trim, Fascia and Soffit

To ensure the clean, neat aspect of all the architectural styles is fully complemented, trim work must meet the following requirements:

- Acceptable trim materials are smartboard, aluminum, or an acceptable alternative.
- Trim must extrude, or sit proud of the wall material (0.5")
- Homes with modern expressions may not require window trims.
- Rain ware must be limited on exposed elevations. Downspouts should take place on side and rear elevations of homes only. Eavestrough colours are to match the fascia colour.
- Soffits may be prefinished metal – wood tone products or finishes are encouraged.

13.0 Accessories

13.1 Railings

Railing will be required as per the Alberta Building Code. Front porches and rear decks should have railings in a style to match the architectural theme. Modern style metal and glass railings are preferred on all architectural styles on both front and rear elevations. Acceptable railing materials include: Aluminum, Wrought Iron or Glass Panel.

PLEASE NOTE: Railings constructed of wood will not be permitted.

13.2 Address Plaque

All homes are required to post an Alces Address Plaque to indicate the municipal address of their property at the street side and to ensure consistency of numbering throughout the neighborhood. This plaque may be obtained upon submission of a completed Acknowledgement Form which is to be submitted to Carrington Land electronically. Installation of this address plaque is required as part of fulfillment of the Landscaping Requirements (i.e. Landscaping Deposits will not be returned without completion of this requirement).

14.0 Colours

Colors will be appropriate to architectural style as set out in the Style Profiles. Colors will not be repeated on adjacent lots. Trim and fascia will be a single color. Streetscapes will be diverse without the predominance of one colour or tone.

Colour Sample Selections by Style:

Modern Prairie - Colors are mid to dark earth tones with monochromatic or darker contrasting trims and stone.

Suited Stone Profiles: Mountain Ledge, Stacked Stone, Cliffstone, Brick

Siding	Fascia & Trim	Panels	Shakes	Entry Door	Stone
Harvard Slate	Ironstone	CL3236A Estate	N/A	CL2276A Bay of Many	Black Bear Mountain Ledge
Brownstone	Cactus	CL2936A Grass Clipping	N/A	CLC1212N Fuji	Castaway Stacked
Granite*	Commercial Brown	CL3226N Berlin	N/A	CLC1286N Dynamite	Banff Springs Cliffstone
Toasted Almond*	Antique Brown	CL2877N Diesel	N/A	CH002 Canadian Bacon	Saddle Brown Stacked

West Coast Contemporary - Colors are warm dark earth tones with bold rich contrasts in smooth or reflective finishes.

Suited Stone Profiles: Stacked Stone, Ledgecut, Brick

Siding	Fascia & Trim	Longboard/Vertical siding	Panels/Accent siding	Entry Door	Stone
Pebble Clay	Cobblestone	Walnut	Evening Blue	CLC1279N Bull Shot	Chapel Hill Stacked
Flagstone	Granite	N/A	Timberbark	CLC1287N Woody	Onyx Ironspot (Hebron Brick)
Stratus^	Sable^	Cordoba Cherry^^	Rich Espresso	CH005 French River	Slate Grey Stacked
Granite*	Clay	N/A	Countrylane Red	CL3217N Topsoil	Sage Ledgecut 33

Modern Farmhouse - Colors suited to the Modern Farmhouse are light tones in natural hues with tonal fascia/trim and black or white windows & grills or historical colors with a light contrast at the fascia and trim and white windows & grills only. Stone should be variegated and either tonal or a darker contrast and brick must be solid (non-variegated) and may be tonal, a dark contrast or red-toned

Suited Stone Profiles: Stacked Stone, Pro-fit stone, Brick

Siding	Fascia & Trim	Vertical Siding	Shakes	Accent	Stone
White	White	White	N/A	CLC1280N Brown Sugar	Brandywine Brick (Hebron Brick)
Linen	Linen	Linen	N/A	CL3087A Jennet	Alderwood Stacked
Estate Grey	Grey	Estate Grey	N/A	CL2397N Tatoo	Nantucket Stacked
Midnight Surf*	White	Midnight Surf	N/A	CH090 Mayne Island	N/A

*Denotes premium siding colour

Siding colours referenced are manufactured by Royal, unless noted ^Mitten, ^^Mitten Longboard siding

Stone referenced is manufactured by Eldorado, unless noted

Entry door/Accent colours referenced are manufactured by General Paint

15.0 Landscaping

Landscaping is an integral feature to every part of the site and can speak to the vibrancy and quality of a development. Landscaping design should tie the entire site together, define entryways and pathways, identify private space, and buffer parking garages and less desirable views.

15.1 Front Yard Minimum Requirements

It is the responsibility of the builder to landscape the front yard. In the case of corner lots, the front yard shall include the flanking side yard to the sidewalk, curb or boulevard and to the rear corner of the house. The objective of the landscape requirements is to achieve greenery.

The minimum landscape standard for all lots shall consist of:

- Sod in the front yard to the front corner of house and/or garage.
- One tree - Coniferous trees (smaller varieties such as weeping spruce, mugo pine, lodgepole pine, etc.) are the preference, minimum size 5' height (or spread if mugo pine). Deciduous tree size minimum 2" caliper
- Six shrubs with a combination of deciduous and coniferous shrubs, minimum 18" height or spread in a separate bed, defined by edging (vinyl, brick, landscape block, etc.) Shrub bed must be located in the front half of the yard and forward of an attached garage. Perennials may be planted in lieu of deciduous shrubs. Four (4) perennials will be considered equal to one (1) deciduous shrub.
- The sideyard at the driveway may be finished in sod or rock/bark mulch
- Colored shale and white landscape rock will not be permitted.

15.2 Pie Lots

If your home is located on a Pie lot and there is not enough room for the minimum landscaping requirements above, the tree may be planted in the rear yard within 10' of the rear property line.

15.3 Xeriscaping Landscaping

Incorporate sustainable, low maintenance landscaping that minimizes requirements for potable water use, manufactured fertilizers, and pesticides. Design the site to minimize use of potable water for irrigation; encouraging seasonal rainfall for sustainability of plant species or use captured rainwater for irrigation.

Alternate materials to sod (rock and/or bark mulch) will be permitted if the alternate plan meets the objective of these guidelines to achieve greenery in all front yards within the neighbourhood. Xeriscaping design is encouraged. The use of Xeriscaping landscaping will require:

- The planting of an additional shrubs in order to achieve greenery
- A variety of rock sizes as well as obvious variations in contours (bumps/rises/raised beds etc) and materials for interest. Colored shale and white landscape rock will not be permitted

15.4 Artificial Turf

Residents will have the option to install synthetic turf in place of sod.

To obtain landscape approval, selected synthetic turf (including putting greens) must meet the following requirements:

- **Colour:** Green - no alternate colour choices will be accepted.
- **Weight/Density:** Turf: minimum 95 ounces per square yard (ex. ezLAWN Pro, ezLAWN Elite, ezLAWN Platinum). Putting greens: minimum 83 ounces per square yard (ex. ezGOLF PRO).
- **Height:** Turf: minimum blade length of 41mm. Putting greens: minimum height 13mm.
- **Base Preparation:** Minimum depth 4 inches of 20mm Road Crush (compacted to 90% proctor density).
- **Leveling layer:** Sand or crushed limestone.
- **Surface Infill:** Silica sand and/or rubber infill.
- **Warranty:** Manufacturer must specify pet friendly product, minimum 10-year warranty.

NOTE: Synthetic turf adjacent to natural sod will not be allowed without installing a distinct integrating strip of landscaping between the styles of turf. The installation of undulating rock/mulch beds with shrubs and landscape edging are acceptable practices for meeting the standard. These beds are installed in addition to the minimum landscaping requirements as set out in the architectural guidelines.

Homeowners must provide a copy of the invoice, to verify the specifications have been met, as a visual inspection may not suffice.

How to Properly Separate Natural Sod from Artificial Turf



Incorrect – There should be a distinct boarder installed between the artificial turf and the neighboring natural sod.



Correct – A distinct boarder containing additional shrubs has been installed between the artificial turf and neighboring sod.

Please be advised that the City of Edmonton has Landscape Requirements that can be found here:

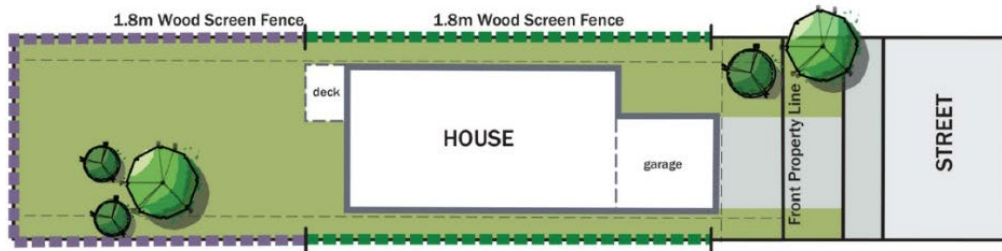
https://www.edmonton.ca/city_government/urban_planning_and_design/tree-and-shrub-planting-requirements.aspx

16.0 Fencing

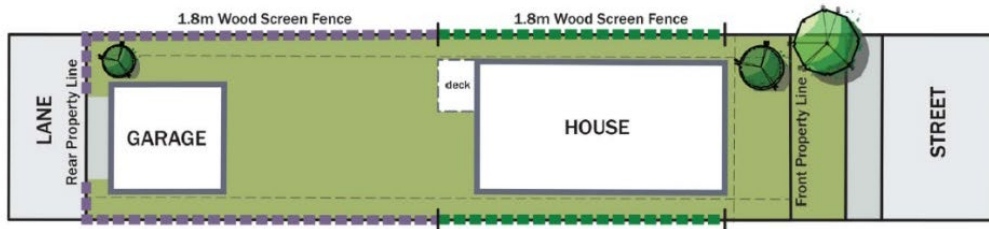
Fencing is an essential element in community design as it defines ownership and allows for screening and privacy.

16.1 Requirements, Typical Lots

- Fencing on lots other than where provided is the responsibility of the Purchaser to construct. Maintenance of all fencing is the sole responsibility of the Purchaser.
- All fencing within the neighbourhood shall be constructed in accordance with the fence details for wood screen fencing, chain link fencing and decorative steel fencing provided in Appendix B.
- Fencing for typical lots shall be designed as shown in Figure 1: Fencing Plan – Typical Lots, with 1.5 m wood screen fencing along the rear and side yards. Fencing height may be reduced to 1.2 m along the length of the house structure.



Front Yard Example



Rear Yard example



Zero Lot Line Fencing

Figure 1: Fencing Plan – Typical Lots

16.2 Requirements for Amenity Lots

Fencing for all lots backing onto the storm water management facility, neighborhood open spaces and major walkways shall be designed as shown in Figure 2: Fencing Plan – Stormwater Management Facility, and Neighborhood Parks and Walkway Lots. On the side property line, 1.2 m or 1.5 m wood screen fencing is required along the length of the house up to the end limit of the rear deck. Further back from the rear deck, the side yard fence shall be 1.2 m chain link fencing, or optional decorative steel.

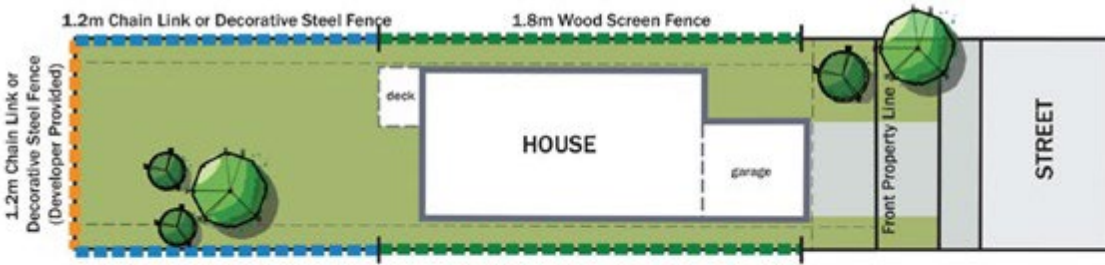


Figure 3: Fencing Plan – Stormwater Management Facility,
Neighbourhood Parks and Walkway Lots

Notes:

- All landscaping shown is conceptual. Refer to landscape requirements within this document
- All wood screen, chain link, and decorative steel fencing must be constructed in accordance with the fence details provided in appendix B

Figure 2: Fencing Plan – Stormwater Management Facility, Neighborhood Parks, and Walkway Lots

16.3 Requirements, Townhomes

All side yard fencing for townhouse sites within Alces shall be set back at least 3m from all gas and power meters located at the side of the buildings, to allow for maintenance access by utility companies.

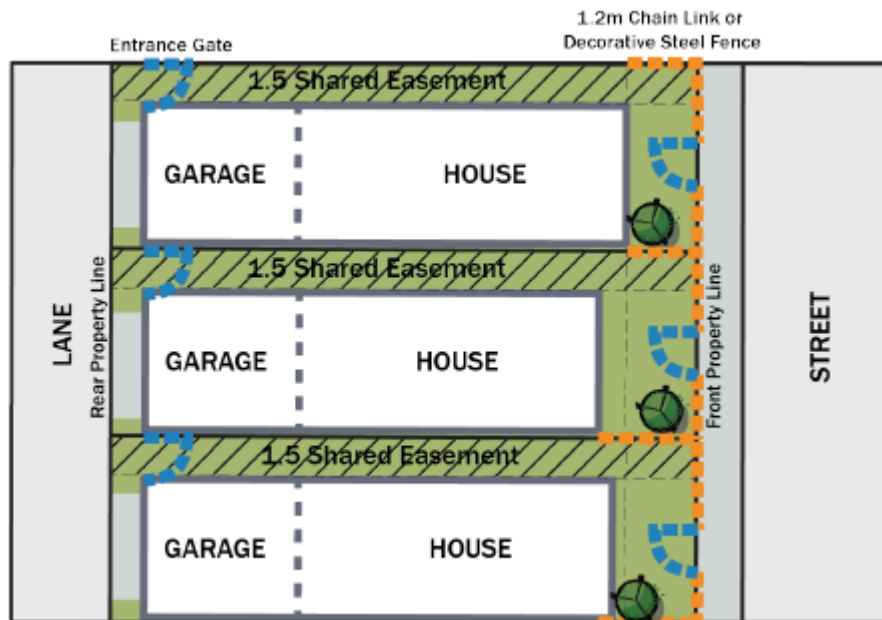


Figure 4: Fencing Plan – 3-Storey Product (Rear-Attached Garage)

17.0 Ancillary Buildings/Garden Sheds

Where such structures are visible from public adjacencies, (perimeter lots, corner lots and lots designated high visibility) exterior finish style and colour shall compliment the house. Roof style and materials are to match the materials used on the house.

The side wall elevations of accessory buildings/sheds shall not extend higher than adjacent fencing.

Accessory buildings on lots designated high visibility must be a minimum of three (3) metres from the rear fence line.

18.0 General Rules and Limitations

These requirements may be altered, amended, or varied by the Vendor, Carrington, at its sole and absolute discretion and without prior notice. Carrington and their designated consultants retain the full discretion to approve or disapprove any or all elements of a proposed development or structure. It is strongly recommended that all purchasers or builders obtain pre-approval for any proposed development.

Homes will be reviewed on their individual merits of design, massing, proportion and compatibility, and where the Architectural Consultant considers the plan to be exceptional, and provided that the house conforms with the general trend of the neighborhood, exceptions may be considered.

The Vendor, the Architectural Consultant, their servants, agents, contractors, appointees, shall not be held responsible or liable for the accuracy, enforcement or compliance with these Landscape and Design Requirements to any Owner, Purchaser and/or Builder within the subdivision.

19.0 City Regulations

Formal standards for development will be those as established in the City of Edmonton Land Use Bylaw, specific to Alces. Conformity with these requirements does not supersede the required approval process of the City of Edmonton. It is not the purpose of this process to check for compliance with applicable governing statutes and requirements. Incomplete submissions may be returned without review. Any changes to approved plans must be approved in writing prior to implementation.

20.0 Restrictive Covenant

Restrictive covenants(s) with these Architectural Guidelines are registered on title of each lot.

21.0 Plot Plans

The designated surveyor, Stantec, shall prepare all plot plans and perform all stakeouts in the subdivision to facilitate establishing building elevations that are consistent and appropriate.

22.0 Subdivision Appearance

22.1 Signage

In order to maintain cohesiveness for signage within the subdivision, all signage will be supplied by the Developer, i.e. all model signs, directional signs and general information signs. The only signage to be supplied by the Builders Group will be on lots owned or sold by that Builder. Excessive abuse of signage, including sandwich boards may necessitate removal of ALL Builder and Realtor signs.

22.2 Excavation Material

Builders must ensure that all excavation is kept within the confines of their lot. Any spillage on a road, land, sidewalk or neighboring lot must be removed immediately or the Developer will arrange for its removal and invoice for expenses.

22.3 Clean Up

Builders should encourage timely removal by all subtrades of litter on building sites. Failure to comply will result in a clean-up bill being charged to the lot. Supply of bins by the Builder is recommended. Any general clean up of the subdivision implemented by the Developer can and will be charged pro-rata to all builders.

22.4 Inspections

Each Builder/Purchaser Owner is responsible for inspecting the condition of curbs, sidewalks, streetlights, services, etc. on his lot and must submit written notice of any damages to The developer within 14 days of purchasing the lot, otherwise cost for repairing any damages becomes the sole responsibility of the Purchaser. A lot inspection report must be submitted to Carrington Land, see Appendix C.

23.0 Approval Process

Prior to application the Builder has inspected the lot and all services. All discrepancies or damage are to be reported in writing to the Developer.

23.1 Preliminary Submission

All plans to be marketed in Alces must be pre-approved. This process will ensure the proposed plan is consistent with the objectives of the guidelines and the final application will be without unforeseen changes. The prelim process is also an opportunity to standardize multiple elevation styles for a single model, avoiding repetition restrictions for the best-selling plans.

Standard prelim model approvals are not lot specific and will be processed by email, outside of the Clearview system. Send scale drawings (3/16" or 1/8") to reception@mercury-group.ca. Each plan to include:

- Floor plans (with outside dimensions) @ 3/16" or 1/8" scale
- Elevations (all 4 sides) @ 3/16" or 1/8" scale
- Model identification
- Style designation

Lot-specific custom plans may be submitted in Clearview using the "Submit Preliminary" function in the system. The lot-specific preliminary submission consists of:

- Floor plans (with outside dimensions) @ 3/16" or 1/8" scale
- Elevations ((all 4 sides) @ 3/16" or 1/8" scale
- Preliminary plot plan prepared by Stantec Geomatics @ 1:300 scale
- Style designation

It is the Builders responsibility to address the requirements of the architectural guidelines and to demonstrate the characteristics and merits of the style, prior to submission.

The proposal will be reviewed in its entirety and designated approved, approved subject to conditions or not approved. Once the preliminary model approval has been granted you may proceed with working drawings and final application.

With standard models pre-approved, your design and sales departments can reserve model, style, and colors in Clearview.

For lots with high visibility (corner or rear) a prelim review can be submitted in the Clearview lot file, through 'Ask a Question'.

23.2 Final Application

Applications are processed in Clearview Suite, a web based software program designed to manage all aspects of the house plan approval process. The system has the capability to receive and process applications, information requests, color reservations, revisions, and final inspections. The system is a resource accessed by the builder, developer and consultant. All communication is date and time stamped for transparency and is archived permanently online for reference as needed.

Before applying to the City for a development permit, the applicant shall submit plans for approval to MERCURY GROUP INC. Applications must be submitted though MERCURY GROUP INC.'s online Clearview System. Please contact MERCURY GROUP INC. for log in information.

Application shall include the following:

- a) One complete set of house plans; 3/16" or 1/8" = 1'
- b) One Copy of the Plot plan, prepared by Stantec Geomatics, 1:300, showing lot house grades and drainage pattern, floor and garage elevations;
- c) Completed application specs.
- d) Material and color samples, as required.
- e) Manufacturer, product code, and catalogue image of entry door

Incomplete submissions may be returned without review. MERCURY GROUP INC. will review the plan and recommend approval, modification, or rejection of the application based on the adherence of the plans to these guidelines within 5 working days.

Should disputes arise, the Developer shall make the final decision on the acceptability of plans. Once approved, MERCURY GROUP INC. will send a copy of the application indicating any changes to the applicant. After approval, the plans may not be altered without prior written approval of MERCURY GROUP INC.

Approval of any and all house plans will be at the sole and unfettered discretion of the Developer. No stakeout will proceed until architectural approval is granted.

APPENDIX "A" PHASE PLANS



STAGE 3



LEGEND

- Street Light
- Service Pedestal
- Padmount Transformer
- Hydrant
- Garage Location
- Recommended House Size (in ft.) with 9.0m Setback
- Rear Lane Single Side Yard Residential
- Single Side Yard Single Family Residential
- Duplex
- Proposed Tree Location



NOTE: This plan is PRELIMINARY and subject to change. Lot dimensions are approximate and have not been confirmed by a calculated survey plan. This plan is conceptual only. Please refer to the registered subdivision plan and approved engineering drawings to confirm information. Details are subject to change. Landscape shown conceptual only. For more information on land use, please contact the City of Edmonton.

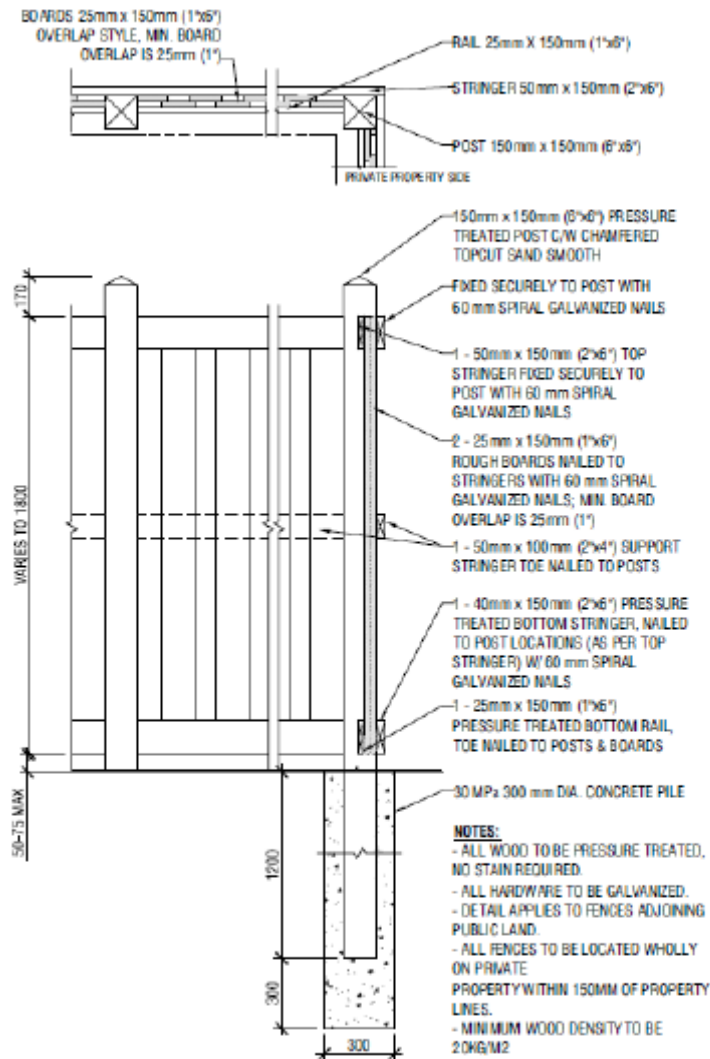
AUGUST 2023



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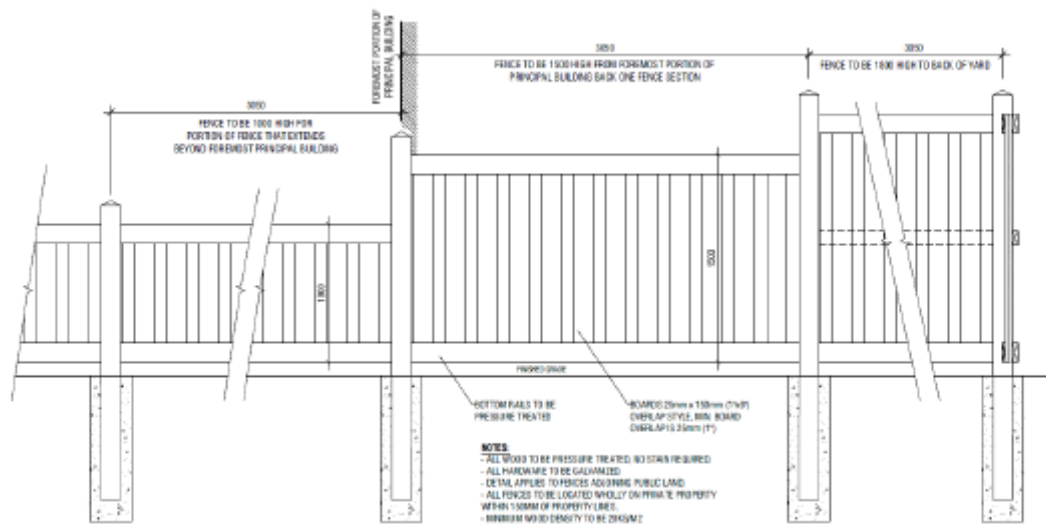
APPENDIX "B" FENCE DETAIL PLAN

PLEASE NOTE: Fences are to be built and finished with pressure-treated wood ONLY. There is to be no stain applied to any of the wood members, and fences are not permitted to be painted. This fencing detail is to be used for construction purposes ONLY and is to disregard any notes regarding finishing requirements.



1.8m HEIGHT OVERLAP WOOD SCREEN FENCE

SCALE: NTS



OVERLAP BOARD WOOD SCREEN STEP DOWN FENCE
SCALE: NTS

APPENDIX "C"
LOT INSPECTION REPORT

LOT INSPECTION REPORT

This Lot Inspection Report is to be completed within 30 days from possession.
Inspection to be completed through the Lot Management Website.

Date of Inspection _____

Subdivision _____

Builder/Purchaser _____

Lot _____

Block _____

Plan _____

INSPECTION OF MUNICIPAL IMPROVEMENTS

Sidewalk _____

Curb _____

Water Service Valve _____

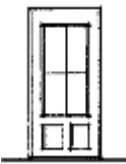
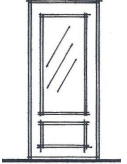
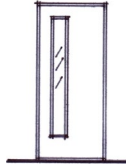
Swale _____

Boulevard Landscaping _____

Light Standard/Communication Pedestal _____

Comments _____

APPENDIX “D” STYLE SUMMARY

	Modern Farmhouse	Modern Prairie	West Coast Contemporary
Roof Slope/ Overhangs	Main 7/12 Facing gables 7/12 & higher 12” overhangs	Min. 5/12 24” overhangs	Min. 5/12 main Single slope gables may be lower 12”-18” overhangs
Roof Style	Gable Only See style profile for Cottage @ Secondary roofs only	Cottage Only Flat roof accents encouraged	Main gable with single slope and/or flat roof OR Main cottage with flat roof
Articulation (# of variations)	⊙ or 1	1 or 2	Articulated façade
Additional cladding material	Vertical siding Stone or brick	Smooth panel Board & Batten Longboard siding Corrugated Aluminum Stone or brick	Smooth and textured panels Vertical siding Longboard siding Corrugated Aluminum Stone or brick
Trims	3”	5” or 6”	3” or 4”
Louvers	Tall & narrow	⊙	⊙
Shutters	Board & Batten	⊙	⊙
Window Grills	single +	single —	single — or I
Entry Column	6” or 8” simple	10” or larger	max 6”
Entry Door Sample Style			
Color Requirements	Colors suited are light tones in natural hues with tonal fascia/trim and black or white windows & grills or historical colors with a light contrast at the fascia and trim and white windows & grills only. Stone should be variegated and either tonal or a darker contrast and brick must be solid (non-variegated) and may be tonal, a dark contrast, or red-toned	Colors are mid to dark earth tones with monochromatic or darker contrasting trims and stone.	Colors are warm dark earth tones with bold rich contrasts in smooth or reflective finishes.
Suited Stone Profiles	Stacked Stone Brick	Stacked Stone Brick Cliffstone Mountain Ledge	Stacked Stone Brick Ledgecut