



## Landscaping and Fencing Guidelines

Nov 2024

## 7 LANDSCAPING

Landscaping is an integral feature to every part of the site and can speak to the vibrancy and quality of a development. Landscaping design should tie the entire site together, define entryways and pathways, identify private space, and buffer parking garages and less desirable views.



### 7.1 GENERAL REQUIREMENTS

The following guidelines are encouraged within the landscaping design for all lots:

- Incorporate sustainable, low maintenance landscaping that minimizes requirements for potable water use, manufactured fertilizers, and pesticides.
- Incorporate variety in layout and proportions of hard surface, lawn, and shrub bed areas to promote diversity of landscaping across adjacent lots.
- Where space permits, integrate planting beds around building foundations to soften the edges of buildings. Perimeter plantings are also encouraged to screen adjoining properties and soften the appearance of fencing.
- Artificial grass or turf will be permitted. The install and manufacture of the Turf will need to be approved.

## 7.2 DESIGN REQUIREMENTS

All landscaping design requirements are applicable to ALL lots and shall be provided in accordance with the below Figure 1: Exceptions can be made on a case by case basis.

| LANDSCAPING REQUIREMENTS FOR ALL LOT TYPES |  |
|--|--|
| 1.1.1.1                                    | Landscaping the Front Yard of each lot as per these guidelines;  |
| 1.1.1.2                                    | Providing topsoil in the Rear Yard of each lot;  |
| 1.1.1.3                                    | Landscaping the Side Yard flanking public roadway on corner lots.  |
| 1.1.1.2                                    | Homeowners are responsible for the installation of all landscaping not described in Section 1.1.1.1 for their respective homes.  |
| 1.1.1.3                                    | Homeowners of Single Detached Front Drive 2-car Garage Product are responsible for ALL landscaping as described in these guidelines for their respective homes. A landscaping deposit of \$2500 per lot is required for all lots of this product type.   |
| 1.1.1.4                                    | Sod is required in the Front Yard landscaped area. Additional landscaping is to be comprised of planting beds, naturalized landscaping or xeriscaping, gardens, trees, or other soft landscape components. A pedestrian path or hard landscape may be included.  |
| 1.1.1.5                                    | It is preferred that all planting beds are mulched with 75 mm depth ground tree mulch or equivalent to limit weed growth and reduce evaporation. However, rock planting beds will also be accepted.  |
| 1.1.1.6                                    | All corner lots, regardless of lot type, shall incorporate a minimum of four (4) shrubs within the flanking side yard.   |
| 1.1.1.7                                    | Boulevard trees and sod shall be always protected during construction. Builders must install a temporary protective fence around the existing trees, at or beyond the nearest trees' drip line. Builders are responsible for the erection and maintenance of temporary protective fencing. Protective fencing must remain during the entire construction process and only be removed when all construction is completed. Builders must ensure that adequate measures are in place to protect trees from damage during construction period. |

## 7.3 MINIMUM REQUIREMENTS

All minimum landscaping design requirements are applicable to ALL SPECIFIED lots.

|                                      |   |
|--------------------------------------|---|
| <p>1.1.2 Single detached housing</p> | <p>1.1.2.1 One (1) tree (min. 40 mm calliper for deciduous, 1.5 m height for coniferous).</p> <p>1.1.2.2 Minimum of four (4) shrubs (coniferous or deciduous),</p> <p>1.1.2.3 Homeowners of Single Detached Laned Product are responsible for a landscaping deposit of \$1,500 per lot.</p> <p>1.1.2.4 Homeowners of Duplex Product are responsible for a landscaping deposit of \$1,500 per lot.</p> |
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## 7.4 FENCING

Fencing is an essential element in community design as it defines ownership and allows for screening and privacy.

### 7.4.1 Requirements, Typical Lots

- Fencing on lots other than where provided is the responsibility of the Purchaser to construct. Maintenance of all fencing is the sole responsibility of the Purchaser.
- All fencing within the neighbourhood shall be constructed in accordance with the fence details for wood screen fencing, chain link fencing and decorative steel fencing provided in Appendix B.

- o Fencing for typical lots shall be designed as shown in Figure 2: Fencing Plan – Typical Lots, with 1.8 m wood screen fencing along the rear and side yards.

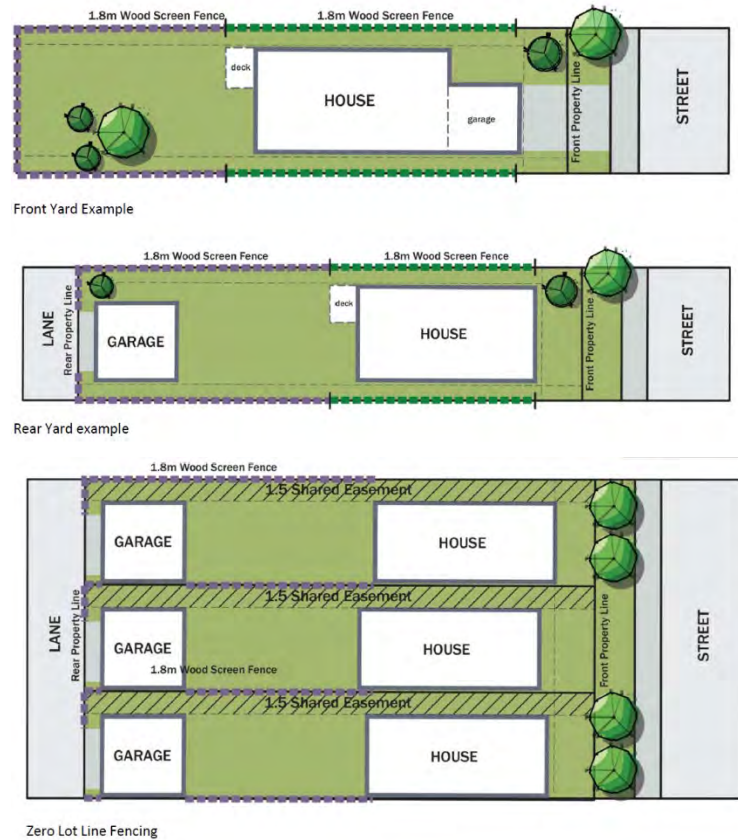


Figure 2: Fencing Plan – Typical Lots

#### 7.4.2 Requirements, Amenity Lots

- o Fencing for all lots backing onto the storm water management facility, neighborhood open spaces and major walkways shall be designed as shown in **Figure 3: Fencing Plan – Stormwater Management Facility, and Neighborhood Parks and Walkway Lots.**
- o On the side property line, wood screen fencing is required.

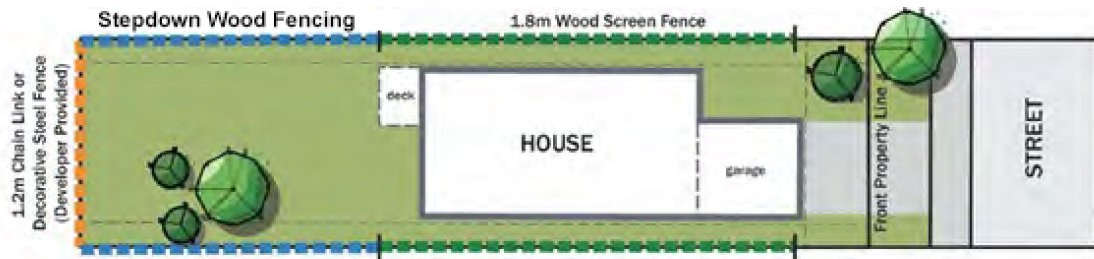


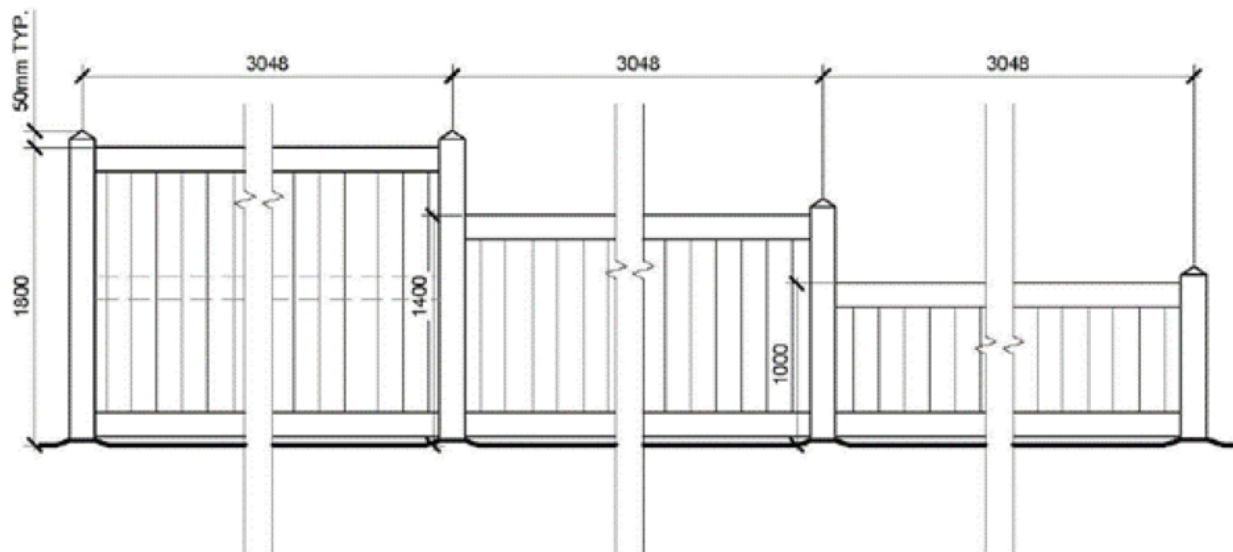
Figure 3: Fencing Plan – Stormwater Management Facility,  
Neighbourhood Parks and Walkway Lots

**Notes:**

- All landscaping shown is conceptual. Refer to landscape requirements within this document
- All wood screen, chain link, and decorative steel fencing must be constructed in accordance with the fence details provided in appendix B

Figure 3: Fencing Plan – Stormwater Management Facility, Neighborhood Parks, and Walkway Lots

### Step Down Fencing Detail



ELEVATION

**NOTES:**

- REFER TO CONSTRUCTION DETAIL FOR ALL METHODS AND MATERIALS REGARDING CONSTRUCTION OF WOOD SCREEN FENCING.



## ARCHITECTURAL GUIDELINES

### 8.7 FINAL INSPECTION

Return of the Architectural and Landscaping deposit will be released to the builder upon satisfactory completion of the house as per the architectural approval. Upon completion of the house, the builder will submit an approved, stamped, grading certificate and the municipal letter of acceptance from the City of Edmonton to initiate a Final Inspection of the home (including landscaping). Homes must be fully complete with all seasonal work done and driveway installed.

#### 8.7.1 Inspection Submission Requirements

To initiate an architectural inspection and return of the deposit, all construction must be completed

– exterior and landscaping completed in accordance with these guidelines AND as per the house plan approval. Architectural and landscaping inspection requests are to be consolidated into one request and will not be reviewed separately. The following will be required to be completed:

- Final grading completed.
- Final grading certificates and approved grading inspection report
- Sidewalks, street, gutter and curbs in clean condition.
- Electronic request to Cameron Communities to conduct the architectural and landscape inspection.

*PLEASE NOTE:* The request must include a comprehensive photo inspection (of the architectural and landscaping components)

**Next Steps:** The Builder will be notified of any architectural and landscaping deficiencies and will be given a time frame in which to correct the deficiencies.

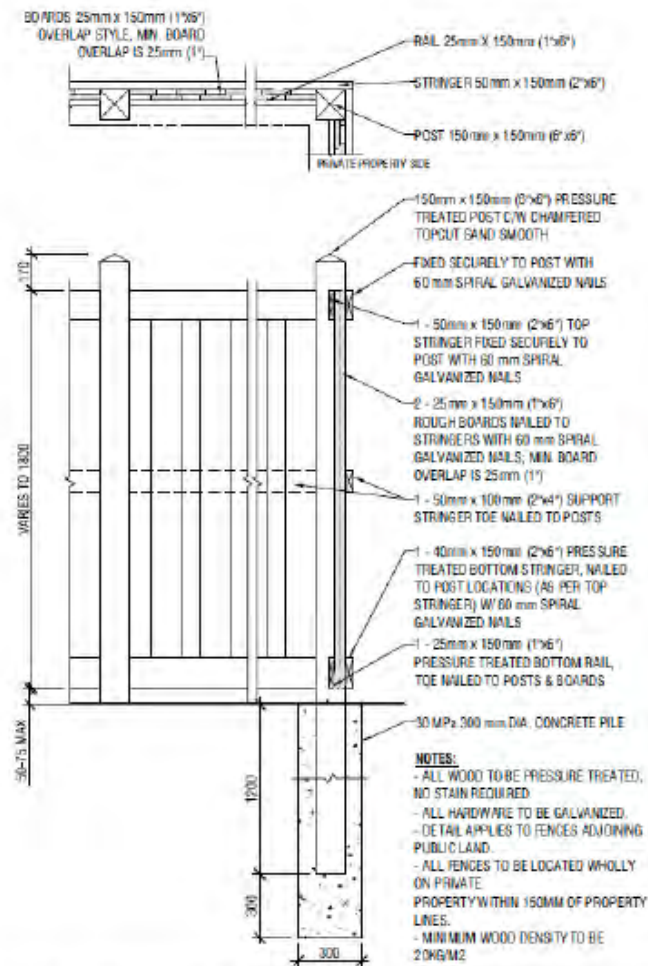
### 8.8 RETURN OF DEPOSITS

Upon receipt of an approved final inspection has been supplied to the Builder, the Builder shall release the Architectural and Landscaping Deposit to the homeowner.



## APPENDIX B: FENCE DETAILS

PLEASE NOTE: **Fences are to be built and finished with pressure-treated wood ONLY.** There is to be no stain applied to any of the wood members, and fences are not permitted to be painted. This fencing detail is to be used for construction purposes ONLY and is to disregard any notes regarding finishing requirements.



**1.8m HEIGHT OVERLAP WOOD SCREEN FENCE**

SCALE: NTS



